

CRAWFORD FARMS HOMEOWNERS ASSOCIATION  
Architectural Control Committee Guidelines

STATE OF TEXAS

§

§ KNOW ALL PERSONS BY THESE PRESENTS:

COUNTY OF TARRANT

§

**WHEREAS**, CRAWFORD HOMEOWNERS ASSOCIATION, INC., a Texas nonprofit corporation (the “**Association**”), is governed by those certain Declaration of Covenants, Conditions, and Restrictions for Crawford Farms recorded on May 11, 2000, as Document Number D200100353, Real Property Records, Tarrant County, Texas, and supplemental amendments: First Amendment recorded with the Tarrant County Clerk instrument number D201115355, Declaration of Annexation and Second Amendment recorded with the Tarrant County Clerk instrument number D203191982, Declaration of Annexation and Third Amendment recorded with the Tarrant County Clerk instrument number D203204087, Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Crawford Farms Declaration and Annexation and First Amendment recorded with the Tarrant County Clerk instrument number D205260398, Second Amendment to the Amended and Restated Declaration of Covenants, Conditions, and Restrictions recorded with the Tarrant County Clerk instrument number D205260399, Third Amendment to the Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Crawford Farms recorded with the Tarrant County Clerk instrument number D208321299, Third Amendment to the Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Crawford Farms recorded with the Tarrant County Clerk instrument number D208321300, Third Amendment to the Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Crawford Farms recorded with the Tarrant County Clerk instrument number D218030620, Fifth Amendment to the Amended and Restated Declaration of Covenants, Conditions, and Restrictions for Crawford Farms recorded with the Tarrant County Clerk instrument number D221038199 (collectively, the “**Declaration**”);

**WHEREAS**, the Crawford Farms Homeowners Association, Inc. (“**Association**”) is charged with administering and enforcing those certain covenants, conditions and restrictions contained in the recorded Declarations for the various sections of the community (referred to collectively as the **Declarations**); and

**WHEREAS**, the Board of Directors (“**the Board**”) of Crawford Farms Homeowners Association, Inc. wishes to adopt and promulgate these reasonable guidelines in compliance with Article V, Section 4 of the **Declarations**; and restate that certain Architectural Control Committee Guidelines on December 16, 2020 as Document No. D220330727 of the Official Public Records of Real Property of Tarrant County, Texas (the “**Prior Policy**”)

**WHEREAS**, the Board intends to file these guidelines in the real property records of each county in which the subdivision is located, in compliance with Section 209.0041 of the Texas Property Code; and amend and restate the **Prior Policy**

**NOW, THEREFORE BE IT RESOLVED BY THE BOARD OF DIRECTORS** of the Association, that the prior policy is hereby amended and restated with the Architectural Control Committee Guidelines revised August 27, 2021 that are established by the Board and supersede all previous guidelines filed in real property records.

This resolution of the Board of Directors has been duly adopted by Board of Directors majority vote.



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Fees: \$71.00

NOTICE

EXECUTED this 27<sup>th</sup> day of August, 2021.

**ASSOCIATION:**

CRAWFORD FARMS HOMEOWNERS ASSOCIATION, INC.,  
a Texas nonprofit corporation

By: *Richard Gatewood*

Name: Richard Gatewood

Title: President, Crawford Farms HOA

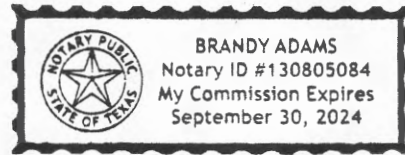
STATE OF TEXAS           §  
  §  
COUNTY OF TARRANT   §

This instrument was acknowledged before me on the 27<sup>th</sup> day of August, 2021 by Richard Gatewood, President of CRAWFORD FARMS HOMEOWNERS ASSOCIATION, INC., a Texas nonprofit corporation, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that she or he executed the same for the purposes and consideration set forth therein.

*Brandy Adams*  
Brandy Adams, Notary Public, State of Texas

ACKNOWLEDGED:

*Ronald Koelling*  
Ronald Koelling, Secretary

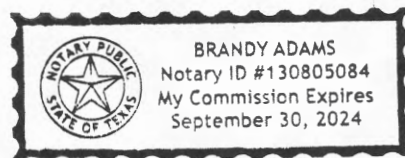


STATE OF TEXAS           §  
  §  
COUNTY OF TARRANT   §

This instrument was acknowledged before me on the 27<sup>th</sup> day of August, 2021 by Ronald Koelling, Secretary of CRAWFORD FARMS HOMEOWNERS ASSOCIATION, INC., a Texas nonprofit corporation, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that she or he executed the same for the purposes and consideration set forth therein.

*Brandy Adams*  
Brandy Adams, Notary Public, State of Texas

After Recording Return To:  
FirstService Residential  
Attn: Business Clerk  
14951 N. Dallas Pkwy, 6<sup>th</sup> Floor  
Dallas, TX 75254



## Crawford Farms Architectural Control Committee Guidelines

**PLEASE NOTE: Failure to obtain ACC approval could result in the homeowner being forced to remove all unapproved items or completed projects.**

### General information

- **Homeowners must obtain Architectural Control Committee (ACC) approval prior to beginning any project even if the project or item appears to meet all guidelines.**
- **It is the homeowner's responsibility to understand if their project requires a City permit and obtain one if necessary.** <https://www.fortworthtexas.gov/departments/development-services/permits/residential-information>.
- Projects and items must be submitted on association provided forms and include all required documentation which, depending on the project, may include diagrams, survey, color chart, neighbor approval forms, etc.
- The ACC is allowed thirty (30) days after the date of submission of requests (complete with all required documents, drawings, plans, permits, drainage plans, etc.) for review pursuant to the governing documents. The ACC will strive to resolve requests within ten (10) business days. If a response is not received from the ACC within 10 business days, it does not mean the project has either been approved or denied. If ten (10) business days have elapsed since submission or if there are any questions about the status of a project request, the homeowner should check the status of their request in Connect Resident Portal at <https://crawfordfarms.connectresident.com>.
  - Material modifications or changes in any plans submitted to the ACC following approval by the ACC shall be resubmitted for review and approval.
  - Such modifications must be approved or disapproved in writing within fifteen (15) business days after submission.
- Projects and items must be consistent with neighborhood norms and standards.
- **No modification of any type may alter the drainage plan. Drainage encroachment on another property shall be considered a civil matter between such owners. Please review the guidance under subsection Drainage below.**
- Homeowners are allowed eight (8) items in front of the residence and an additional eight (8) items in the back of the residence. Pots originally manufactured and sold as flowerpots are not included in the eight (8) allowable items. Notwithstanding the foregoing, each such item must be submitted to the ACC and must receive the prior written approval of the ACC.
  - Items must not exceed (24) inches in any direction, with the exclusion of fountains, trellises, bird baths, basketball goals and flag poles.
  - Other items may be approved if consistent with neighborhood norms.
  - All items, regardless of the size, require ACC approval.
  - Items may not be generally offensive or a nuisance to other owners, as determined in the sole and exclusive discretion of the ACC.
  - If a written complaint is filed, determination of the suitability of the item will be at the sole discretion of the ACC.
- All items – including homeowner or original builder changes and improvements – must be maintained in good repair at all times.
- Homeowners may appeal the ACC decisions in writing to the board of directors through an email to the property manager. Once the written appeal is received, all actions as directed by state law will occur. Management will communicate requirements within two (2) business days of the request.

## **Crawford Farms Architectural Control Committee Guidelines**

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### **Air conditioners**

- Window or wall inserted air conditioners are not allowed if visible from the street.
- No air conditioning apparatus will be allowed to be installed in the front of the residence.

### **Awnings**

- May be allowed but must be approved by the ACC.
- Must be complimentary to the exterior of the home.

### **Basketball goals**

- Do not count towards the eight (8) allowable items.
- Per City ordinance, basketball goals:
  - Cannot be kept on the street at any time.
  - Cannot block the sidewalk.
- Must be kept in good repair.

### **Bird houses and feeders**

- Count towards the eight (8) allowable items.
- May be placed at the top of a pole (maximum 20 feet) but only in the rear of the home.
- If placed in the front yard they must conform to the size guidelines as stated in the general guidelines above.
- All such bird houses and feeders are subject to approval of the ACC.

### **Children's toys/ backyard playground equipment**

- Children's toys must be in good repair.
- Batting cages and similar sports installations are not permitted.
- Tree swings are permitted only in the back yard.

### **Doors - Front**

- Replacement doors and storm doors may include full length glass and decorative metal elements.
- Replacement doors may be stained medium to dark brown or painted as per the paint guidelines.
- Any change to existing doors must be approved by the ACC including screen and storm door additions.

### **Doors - Garage**

- Replacement doors must conform to one of the following:
  - Similar in style and color to the original door.
  - May include windows in the top panel.
  - Wooden doors are permitted but stain must be semi-transparent medium to dark brown and must be maintained in good condition.
- Aluminum garage doors shall be one of the following colors in your paint scheme as described in the paint guidelines:
  - Base
  - Trim
  - Accent
- Any changes made to a door must be approved by the ACC.

## **Crawford Farms Architectural Control Committee Guidelines**

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### **Drainage**

- Any drain (including but not limited to French drains, pop-up emitters, landscape features, etc.) which collect, channel, and/or discharge water from your property to another property require permission from the owner of the affected property.

### **Driveway**

- Driveways are to be constructed of concrete and/or aggregate.
- Driveways shall not be stained or painted.
- Driveways must be maintained so that there is no significant cracking or missing portions.
- All driveway repair, expansion, alteration, or construction must be approved by the ACC.

### **Fencing (deed restricted)**

- Decorative Wood Fencing (bordering a street) must be built to the exact specifications illustrated in Exhibit F of the Declaration found on <https://crawfordfarms.connectresident.com>. They must conform to the following:
  - Maintained by the homeowner in the original height, fence material, and style
  - Maintained with the identical original decorative elements including decorative cross trim, post caps and boxes as outlined in the governing documents in Exhibit F to the declaration.
  - Stained with a semi-transparent medium brown.
  - Original six (6') foot height must be maintained if replacing the deed restricted fence for only one home's portion of the contiguous fence.
  - A height of eight (8') feet may be approved by the ACC if the adjoining neighbor facing the same street also replaces their portion of the contiguous fence with an eight (8') foot fence at the same time.
- Econo Wood Fencing (bordering amenity green space) must conform to the following:
  - Built in the style of Exhibit E as modified and found on <https://crawfordfarms.connectresident.com>, with the substitution of six inch vertical pickets
  - Stained with Behr ST-105 Padre Brown stain.
  - All other design elements must be identical to Exhibit E.
  - This fence is maintained by the homeowner.
- Decorative iron fence (bordering green space) must be built to the exact specifications illustrated in Exhibit H to the Declaration found on <https://crawfordfarms.connectresident.com>. They must conform to the following:
  - Maintained by the homeowner in the original height, fence material and style.
  - Must be maintained with the identical original decorative elements including three decorative rails as well as decorative gate posts with cap as outlined in Exhibit H to the declaration.
  - Stone pillars must be maintained in good condition with the identical style and height as original construction.

### **Fencing (not deed restricted)**

- Alteration and/or replacement of any fence requires the prior approval of the ACC.
- All fences located on a shared property line shall be considered a shared fence. Each homeowner sharing the fence is equally responsible for reasonable costs of repair and maintenance. All changes must be agreed to in writing by the affected neighbor(s) prior to consideration by the ACC. If the matter cannot be resolved between the homeowners privately, the dispute is considered a civil matter between such

## Crawford Farms Architectural Control Committee Guidelines

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owners. Please refer to the Alternative Dispute Resolution Policy found on <https://crawfordfarms.connectresident.com>.

- When replacing a fence, it must be identical (including height and design) to the old fence. Any change, including post location, will require the written approval of each neighbor whose property abuts the replacement fence.
- If wooden fence pickets are replaced, the entire fence must be re-stained with semi-transparent medium to dark brown stain within sixty (60) days.
- Wood fences must be stained with a semi-transparent medium to dark brown stain. Red or tan tone stain, solid color stains, or paint is prohibited. The stain color must be approved by the ACC.
- The standard wood fence height is six (6') feet. The maximum permissible wood fence height, (with written neighbor approval) is eight (8') feet at any point of the fence line. Regardless of any ACC approval (partial or otherwise), the ACC, Board, and/or Association shall not be responsible for verification of necessary City or municipal permitting. Each Owner is solely and exclusively responsible for securing all applicable permit(s) for the installation of fencing.
- Unless otherwise provided in the Declaration, all fences must be constructed of natural wood; no fence may be constructed utilizing compressed wood products, vinyl or other man-made material.
- Fence posts must not be visible from the street caps and posts must be concealed below the top of the fence.
- Fence posts must be made of steel pipe and not wood or other products.
- Decorative metal fencing is allowed on the shared property line subject to ACC approval. The metal fence must match in all aspects of construction (materials, height and style) that which is described in Exhibit H of the declaration. The fence must be 4' tall, have three decorative rails and be painted flat black.
- Decorative metal gate sections (wing fence between house and property line), as described in Exhibit H, are allowed subject to ACC approval.
- Fencing utilized on the interior of any lot for screening or sectioning may not exceed 6' in height.

### **Fencing (townhomes)**

- Wood fencing must adhere to the **Fencing (not deed restricted)** guidelines as listed above.
- Wooden driveway gates are permitted and must match fencing in style, stain, and height.
- Decorative wrought iron-type fencing between the detached garage and home may be permitted with ACC approval adhering to Exhibit H design guidelines found on <https://crawfordfarms.connectresident.com>.
- Iron driveway gates are permitted and must conform to the following:
  - Gates must include an arch.
  - Maintain all decorative elements.
  - Must adhere to paint specifications found in Exhibit H.
- All fencing and gates require approval from the ACC. All submissions must include dimensions, a diagram, and survey.

### **Fencing (perimeter)**

- Decorative wrought iron-type fencing around the perimeter and home may be permitted with ACC approval adhering to Exhibit H design guidelines found on <https://crawfordfarms.connectresident.com>.
- Iron driveway gates are permitted and must conform to the following:

## **Crawford Farms Architectural Control Committee Guidelines**

**PLEASE NOTE: Failure to obtain ACC approval could result in the homeowner being forced to remove all unapproved items or completed projects.**

- Gates must include an arch.
- Maintain all decorative elements.
- Must adhere to paint specifications found in Exhibit H.
- All fencing and gates require approval from the ACC. All submissions must include dimensions, a diagram, and survey.

### **Flags**

- Please refer to the Crawford Farms Flag Policy and the 5<sup>th</sup> amendment to the declaration found on <https://crawfordfarms.connectresident.com> regarding specific flag guidelines.

### **Flag poles**

- All flags must be displayed from a flagpole.
- Do not count towards the eight (8) allowable items.
- Must be maintained in good condition.
- One flagpole of up to 6 feet in length may be attached to the façade of the home without ACC approval.
- One flagpole not to exceed 20 feet may be allowed by the HOA with ACC approval on which a maximum of two (2) flags may be flown.
- All provisions herein above are subject to the requirements of Chapter 202 of the Tex. Prop. Code.

### **Fountains**

- Count towards the eight (8) allowable items.
- Must not exceed 60 inches in height or width.
- Fountains must be approved by the ACC

### **Generators**

- Generators are permitted with ACC approval. They must:
  - Conform to state, county, and municipal requirements.
  - Be located no closer than 5' from any operable window of the subject home or adjacent home.
  - Must be screened from view by either fencing or mature landscape bushes or shrubs and be placed in a safe location with the lowest possible visibility.

### **Gutters**

- Gutters and downspouts are permitted and must match one of the following colors in your paint scheme as described in the paint guidelines:
  - Base
  - Trim
  - Accent
- ACC approval is required.

### **Holiday decorations**

- Do not require ACC review.
- Holiday flags are allowed during the specific holiday period.
- Holiday decorations may exceed the maximum number of eight (8) items in front, and eight (8) items in back.
- Should be removed from the exterior of the home no more than thirty (30) days after the observed holiday.

### **Hoses**

- Permitted without ACC approval. Must be stored from view of the front of the home when not in use.

## **Crawford Farms Architectural Control Committee Guidelines**

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### **Landscaping**

- At a minimum, the landscaping for each lot shall consist of the following:
  - A fully sodded front yard and side yard.
  - At least one (1) single trunk deciduous tree-in the front yard (between the building set back line and the sidewalk) at a minimum three inch (3”) caliper and nine feet (9’) in height. A caliper measurement is the diameter of the trunk when measured one foot above the soil. Trees may not be planted within six feet (6’) of the building setback line.
- Bushes and shrubs are permitted and encouraged to enhance landscapes, but may not serve as a substitute for a single trunk tree to meet the minimum requirement of a single trunk deciduous tree of a 3” caliper, and 9’ height specimen.
- Landscaping shall be consistent with the norms of the neighborhood.
- Landscaping plans (including lighting) must be approved by the ACC.
- Plantings must be maintained and not neglected or overgrown.
- Dead plantings must be removed and replaced if necessary.
- Synthetic turf is not permitted where it is publicly visible.
- Xeriscaping may be permitted but with limitations including the following:
  - All plans must be submitted and approved prior to any modification.
  - Xeriscaped areas may not be more than 25% of the front yard.
  - Areas composed of a single material; i.e. bare mulch/rock are not allowed unless interspersed with plants.
  - Complete diagram must be submitted with request for consideration.
  - Decomposed granite, ground hardwood mulch, or loose stone material for a ground cover in addition to live landscape elements that is maintained to prevent weed growth may be permitted.
  - A border along the front sidewalk is not to be constructed. If the ground cover meets the sidewalk the level of the yard must be low enough to keep the material from washing onto the sidewalk.
  - The design must also include elements that keep material from washing into the neighboring lawn.
  - Flagstones and/or up to three landscape rocks may be included but must not be over twelve (12”) inches high and six (6) square feet.
  - All drawings, plans and type of material to be used must be included in the submission to the ACC.
  - All provisions herein above are subject to the requirements of Chapter 202 of the Tex. Prop. Code.

### **Lighting**

- Exterior lighting is permitted if it does not cause a nuisance to adjacent lots.
- ACC approval is required.

### **Mailboxes**

- All mailboxes shall be constructed of brick that is the same as or substantially similar to (if no longer in production or reasonably available) that used for the original mailbox.
- Must meet all United States Postal Service rules and regulations.
- Must be maintained in good condition and repair and not allowed to lean.
- Any change or repair requires ACC approval.



## **Crawford Farms Architectural Control Committee Guidelines**

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### **Painting exterior**

- Please refer to the Crawford Farms Paint Guide found on <https://crawfordfarms.connectresident.com> for more specific guidance.
- Painting of brick may be granted by submission to the ACC and subsequent approval of the board. Homes on adjacent or facing lots may not have the same paint scheme.
- The exterior of the home must be maintained so as not to have fading, chipping or missing paint.
- Prior to any exterior painting, all paint selections must be identified by brand and number and a schematic/legend of all surfaces and proposed colors must be supplied with the ACC request for approval.

### **Patio covers, pergolas, and porch roofs**

- ACC approval is required.
- Maximum height at the peak of freestanding patio covers and pergolas at the highest point - is 12 feet.
- Pergolas, patio covers, and porch roofs are not to exceed 75% of the total rear yard.
- If shingles are used, they must be the same color and style as the roof on the home. If the home does not have the shingles meeting the prescribed criteria, a shingled patio may not be installed until the home is in compliance.
- Pergolas, patio covers, and porch roofs may utilize:
  - Bronze or dark brown colored, authentic standard metal standing seam roofing.
  - May be covered with twin-wall polycarbonate sheets in a light tint.
  - Exact photo, color, and description will be required for approval.
- Corrugated metals, R-panels, corrugated plastic, and fiberglass coverings are prohibited.
- Roofing metal materials may not have a free or unfinished edge.
- Adjustable, louvered patio coverings are permitted with the following requirements:
  - Structure materials must be of powder-coated, extruded aluminum. Rolled-form aluminum or vinyl structural components are not permitted.
  - Structure - including louvers - must carry at least a 15-year warranty.
  - Manufacturer's product specifications must be submitted with the ACC request.
  - Coloring must be bronze or dark brown.
- Pergolas and patios require a City building permit for accessory structures.

### **Patio equipment including furniture, cooking units and benches**

- Does not count towards the eight (8) allowable items.
- Must be kept in an area where items are appropriate.
- Such equipment must be used for the manufacturer's intended purpose.
- Cooking units must be screened from view from the street when not in use.

### **Patios and decks**

- Must be consistent with neighborhood norms. For example, wooden decks are not permitted in the front of the home.
- No modification may alter the drainage plan.
- Prior to construction, a request must be submitted to the ACC for approval.

### **Propane fuel tanks**

- Propane tanks exceeding 33lb/7 gal L.P. capacity are prohibited.

## **Crawford Farms Architectural Control Committee Guidelines**

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- Propane tanks specifically manufactured for the purpose of providing fuel for outdoor cooking appliances are allowed.
- They must be stored out of view and placed in a safe location with the lowest possible visibility.

### **Rain Barrels**

- Rain barrels specifically manufactured for that purpose are allowed with ACC approval.
- They must be placed in a location with the lowest possible visibility.
- Downspouts attached to the rain barrel must match the home's trim color.
- Rain barrels are not allowed in the front yard of homes or visible from the street if other options for placement are available.
- Landscape screening may be required.
- All provisions herein above are subject to the requirements of Chapter 202 of the Tex. Prop. Code.

### **Raised planting beds**

- Raised planting beds that are consistent with neighborhood standards are allowed by the HOA with ACC approval.
- A front yard raised bed must be similar in material, color and appearance to the home including any brick or stone. Prohibited materials include: plastic, vinyl, wood or metal, and may not be used to form a raised bed.
- Rear yard raised beds must match the existing home and landscaping in color or appearance to the brick or stone used on the home. Rear yard raised beds made of wood are also allowed but must be stained with a semi-transparent brown.

### **Recreational Vehicles**

- No motor vehicle or non-motorized vehicle, including, but not limited to, motor homes, boats, ATVs and wave runners, may be parked or stored on any property for more than 24 hours in any 72-hour period.
  - Such vehicles less than twenty-one (21') feet in length and completely concealed from public view inside a garage or other enclosure approved by the City and the ACC are excepted.
  - Passenger automobiles and vans, motorcycles, pick-up trucks, and pick-up trucks with attached bed campers in operating condition with current license plates and inspection stickers and in daily use as motor vehicles on the streets and highways of the State of Texas are excepted.

### **Roofing**

- ACC approval is required prior to removal of existing roof.
- Refer to the 6<sup>th</sup> Amendment to the CC&Rs found on <https://crawfordfarms.connectresident.com> for all style and color restrictions.
- Tesla solar shingles are permitted.

### **Room additions**

- Construction materials must be the same as the original home including similar roof pitch, roofing shingles, walls and color.
- Requires detailed information and drawings for ACC approval.

### **Satellite dishes**

- Up to 39 inches in diameter are allowable.
- Minimal visibility to the street is required.
- May not be erected on a pole or tower.

## **Crawford Farms Architectural Control Committee Guidelines**

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### **Screens**

- Regular screens are permitted.
- Solar screens are permitted in black, and brown, subject to ACC approval.
- Other colors may be approved subject to ACC review.

### **Sheds, or other types of freestanding structures**

- Detailed information must be submitted for ACC approval including location and building specifications.
- Required information must include: length, width, height at the peak, roof pitch and all building materials to be used in the construction.
- Sheds may not be placed on any easement or be a nuisance in any way.
- Sheds may not alter in any way drainage of the lot upon which it is built nor alter or impact drainage of a neighboring lot.
- Sheds - regardless of construction type (onsite, pre-fab delivery, or kits) - require building permits as per the City of Fort Worth and may be subject to City code compliance.
- Foundation pad of poured concrete is required.
- Maximum size (footprint) is 120 square feet (ex: 10 x12 feet).
- Maximum height at the peak of the ridgeline is 10 feet from concrete foundation.
- Roofing must be:
  - Bronze or dark brown colored authentic standard metal standing seam roofing,
  - If shingles are used, they must be the same color and style as the roof on the home. If the home does not have the shingles meeting the prescribed criteria, a shingled shed may not be installed until the home is in compliance.
  - Corrugated metals (including R-panels) and corrugated plastic or fiberglass coverings are prohibited.
- Roofing metal materials may not have a free or unfinished edge.
- Siding must be cement fiberboard and the paint color must match the paint color of the house. Metal siding is not permitted.
- Metal, vinyl or composite sheds and accessory structures of any type are prohibited, regardless of location.
- Landscaping to soften the appearance of the building from view of the street or greenbelt may be required.
- Shed roofing, paint and construction must be maintained in good condition.

### **Sidewalks and Walkways**

- Homeowners are responsible for keeping sidewalks on their property in good condition. City walks and curbs are the responsibility of the homeowner and subject to code compliance.
- All replacement or repair of City sidewalks must be constructed of concrete and meet City specifications and regulations.
- Resident walkways (other than those parallel to the street) may be constructed of aggregate matching one's driveway.
- All sidewalks and curbs are to be maintained so that there is no significant cracking or missing portions.
- Concrete may not be stained.
- Flagstone walkways require a mortar construction method and are subject to ACC approval.
- All changes must be approved by the ACC.

## **Crawford Farms Architectural Control Committee Guidelines**

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### **Signs**

- Signs advertising contract work are prohibited, except on the day of work and for three days post completion.
- House number signs may be professionally painted using black and white paint on the curb in block format and do not require ACC approval.
- House for sale signs that are no more than 6 square feet in size are permitted without ACC approval.
- Other types of signs that are smaller than 6 square feet may be permitted subject to ACC approval.
- All signs must conform with the requirements of Section 4.14 of the Declaration.
- Please refer to the 5<sup>th</sup> Amendment to the CC&R's found on <https://crawfordfarms.connectresident.com> regarding restrictions related to campaign signs and materials that are subject to the requirements of Tex. Election Code § 259.002.

### **Solar Panels**

- Solar panels are permitted subject to ACC review.
- Please refer to the approved solar panel policy located on <https://crawfordfarms.connectresident.com>

### **Spas**

- Spas are permitted subject to ACC review.
- Request must include a drawing showing exact location of proposed spa.
- Screening options for spas - each of which requires ACC review - may include pergolas, trellises with live plants, arbors, or interior wood fence (not to exceed 6' in height and subject to standard fence requirements).

### **Swimming pools**

- Above ground pools are prohibited.
- Detailed plans including location, dimensions, setbacks and description of the pool, location of pumps and filter, patios/decks, shade structures and landscaping, drainage plan, and City permit(s) must be submitted with the request for ACC review.
- Pool equipment must be screened from view of street, greenspace, and neighboring properties-and may not be located on, over, or within any easements.
- If a shared fence will be affected, neighbor approval must be obtained, and an additional ACC request must be submitted in conjunction with the pool request.
- Swimming pool builds require City permits for accessory structures along with electrical, plumbing and accessory building permits.
- Discharge from any pool overflow or runoff must not be located in an easement and be a minimum of five (5) feet from any property line. Plans that do not discharge either to the street or within the boundary of your lot will not be approved.

### **Trailers (all types)**

- May not be stored on any property for more than 24 hours in any 72-hour period.
- Trailers less than twenty-one (21') feet in length and completely concealed from public view inside a garage or other enclosure approved by the City and the ACC are excepted.

### **Trellises**

- Subject to ACC approval.
- Do not count towards the eight (8) allowable items.

## **Crawford Farms Architectural Control Committee Guidelines**

**PLEASE NOTE: Failure to obtain ACC approval could result in the homeowner being forced to remove all unapproved items or completed projects.**

- Homeowner may add up to two (2) additional trellises in the front yard and two trellises in the back yard.
- Trellises must serve their intended purpose, which is to contain live plantings.
- Trellises are not restricted as to size but the size must be appropriate to the plants supported.

### **Water filters**

- If to be installed on the exterior of the home, ACC approval is required.

### **Window tinting**

- Standard tinting may be allowed but must be approved by ACC.

### **Wreaths**

- One decorative wreath per door is allowed by the HOA.
- Will not count towards the eight (8) allowable items.
- Does not require ACC approval.

## Crawford Farms Architectural Control Committee Guidelines

**PLEASE NOTE: Failure to obtain ACC approval could result in the homeowner being forced to remove all unapproved items or completed projects.**

### Shared Property Modification-Neighbor Approval Form

Owner Name	
Owner Address	
Owner Phone	
Owner Email	
Thorough, detailed description of property alteration. Please include height, style, stain color, post location, retaining wall, materials etc.,	

#### Shared Property Acknowledgement and Agreement

By signing this form, you hereby agree that you have read and understand the scope of the project as presented. You affirm that complete project design, contractor information (if applicable), ACC request form, and its attachments have been presented by the above party and that as the owner of shared property, you may be equally responsible for reasonable cost of repair and maintenance of the shared property that is modified.

Owner Signature	Name	Address	Email